



BRADLEY COUNTY BUILDING INSPECTIONS

Sign Permit Application Requirements. The applicant for a permit to locate a sign is responsible for providing the following to the Bradley County Building Inspector:

OFF-PREMISE SIGN

1. A site plan drawn to scale that shows
 - a. The property lines of the site
 - b. All existing and proposed freestanding signs on site as well as any buildings, parking areas, and driveway entrances to the site.
 - c. The location and size of all existing off-premise signs within 1000 feet distance on the same side of the road as the proposed sign and a 150-foot radius distance around the proposed sign
 - d. The total number of square feet of the proposed sign
 - e. The location/distance or residential structures immediately adjacent to the site of the proposed off-premise sign
2. Proof of ownership or legal interest in the property (ie. Deed/Lease Agreement, etc.)
3. The proposed configuration of the sign including type of supporting structure, top height from the ground, height from the bottom of the sign to the ground, dimensions of the sign, the number of sign faces and setback from any public right-of-way
4. Drawings from a registered engineer that describe the design and structural integrity of the sign, its supports and attachments
5. Completion of Sign Pre-Permit Application
6. Verification of State approval if locating on a state road or right of way.

ON-PREMISE SIGN

1. A site plan drawn to scale that shows
 - a. The property lines of the site
 - b. All existing and proposed freestanding signs on site as well as any buildings, parking areas, and driveway entrances to the site
 - c. The total number of square feet of the proposed sign
2. Proof of ownership or legal interest in the property (ie. Deed/Lease Agreement, etc)
3. The proposed configuration of the sign including type of supporting structure, top height from the ground, height from the bottom of the sign to the ground, dimensions of the sign, the number of faces and setback from any public right of way
4. Drawings that describe the design and structural integrity of the sign, its supports and attachments, building inspector may require these drawings to be completed by a registered engineer.
5. Completion of Sign Pre-Permit Application
6. Verification of State approval if locating on a state road or right of way.

SIGN REGULATIONS. It is the intent of this section to establish reasonable and impartial regulations for the location of signs within the zoning districts of Bradley County. All signs erected, replaced, constructed, expanded or relocated (except at described in Item E below) on any property in Bradley County shall conform to the following guidelines.

SIGN DEFINITIONS

SIGN. A structure or devise designed or intended to convey information to the public in written or pictorial form.

SIGN, BILLBOARD. A sign which directs attention to a business, commodity, service or entertainment conducted, sold or offered at a location other than the premises on which the sign is located.

SIGN, CANOPY. A sign affixed to the visible surface(s) of an attached or free-standing canopy.

SIGN, FREE STANDING. A sign supported by one or more upright poles, columns, or braces placed in or on the ground and not attached to any building or structure.

SIGN, PROJECTING. A sign other than a wall sign that is attached to or projects more than 18 inches from a building face or wall or from a structure whose primary purpose is other than the support of a sign.

SIGN, ROOF. A sign mounted on, and supported by the main roof portion of a building, or above the uppermost edge of a parapet wall of a building and which is wholly or partially supported by such a building.

SIGN, WALL OR FACIA. A sign attached to or painted on the exterior wall of a building.

ON- PREMISE SIGN

1. The maximum height shall be thirty-five (35) feet above road grade.
2. The maximum surface of the sign shall be three hundred (300) square feet.
3. The maximum size of wall signs shall be the sign area permitted for ground signage; however, in no instance shall the signage exceed forty (40) percent of the wall area.
4. All business ground signs shall contain the street number of the business.
5. No part of any sign shall be placed within ten (10) feet of any right-of-way.
6. On-Premise signs are prohibited in Rural Residential (R-1) and High Density Residential (R-2) zoning districts.

OFF-PREMISE SIGN.

1. Off-Premise signs are prohibited in Rural Residential (R-1) and High Density Residential (R-2) zoning districts.
2. Off-premise signs shall be spaced a minimum of one-thousand (1,000) feet apart measured in a straight line distance on the same side of the street and a minimum of one hundred and one hundred fifty (150) feet apart measured from a radius of each billboard location.
3. Off-premise signs shall be located a minimum of one hundred and fifty (150) feet from a residence.
4. Setback shall be ten (10) feet including sign face and support from right-of-way, except on Interstate 75 where there is no setback requirement from interstate fencing.
5. The maximum surface of each billboard shall be seven hundred and seventy-five (775) square feet, except where permitted within 660 feet of I-75 the surface shall be the same as those set forth in the State of Tennessee Department of Transportation Rules and Regulations for the Control of Outdoor Advertising.
6. The maximum height shall be fifty (50) feet above road grade, except where permitted within 660 feet of I-75 the height shall be the same as those set forth in the State of Tennessee Department of Transportation Rules and Regulations for the Control of Outdoor Advertising.
7. Structural requirements shall meet Southern Building Codes except wood structures are prohibited.

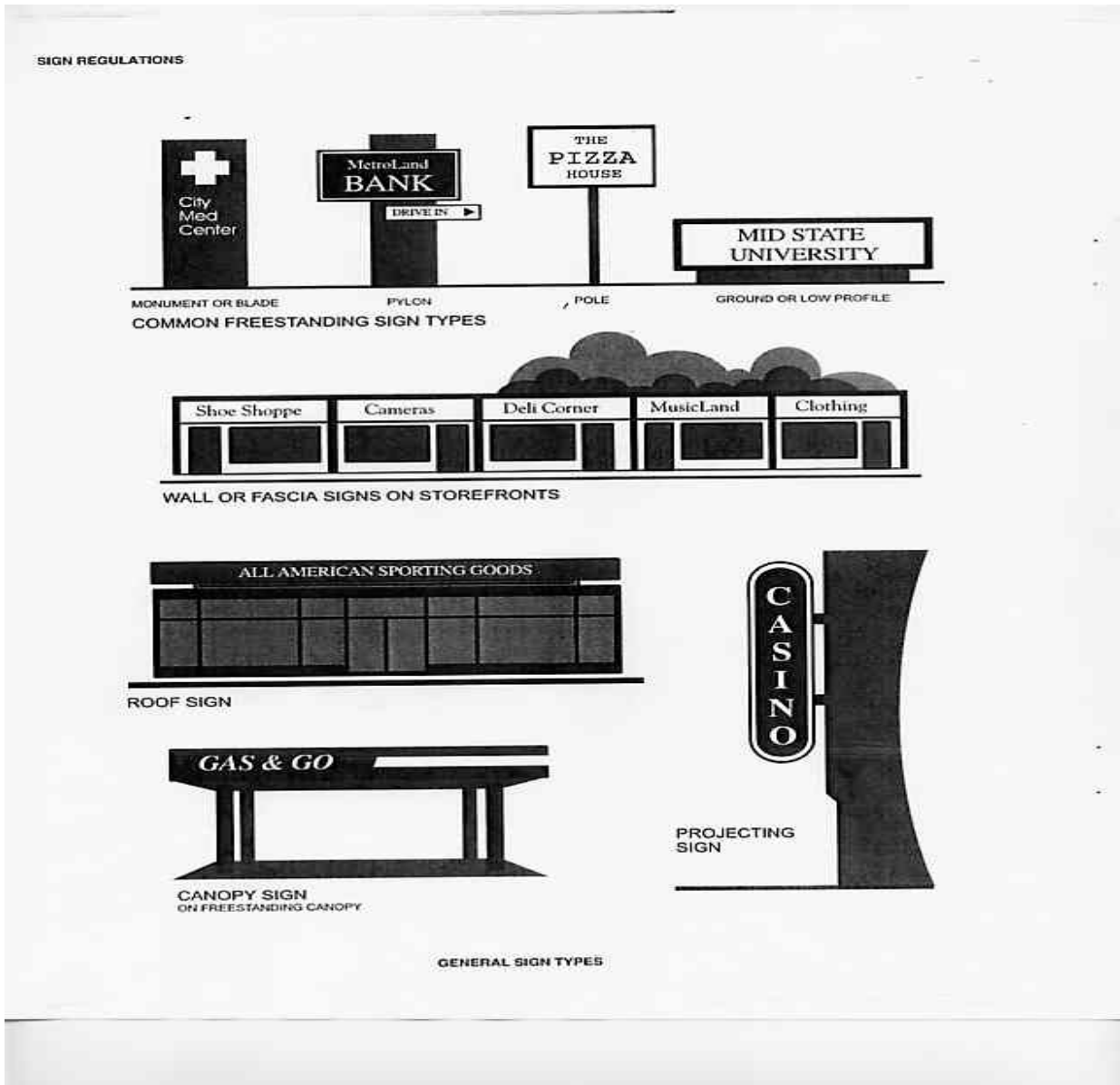
State of Tennessee designated Scenic Highway/Parkway System. Billboards shall be spaced a minimum of two thousand five hundred (2,500) feet apart measured in a straight line distance on the same side of the road and one hundred fifty (150) feet apart measured from a radius of each billboard location on any road or highway in Bradley County that is designated part of the State of Tennessee Scenic Highway System or Scenic Parkway System.

Non-Conforming Outdoor Advertising Signs and Structures. Any sign that exists legally prior to the adoption of these Regulations, but does not conform to the provisions of these Regulations, are declared legal, nonconforming signs.

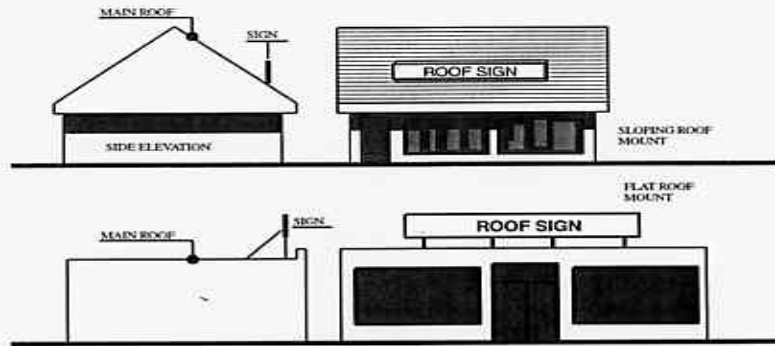
Any legal non-conforming sign may be continued in operation and maintenance after the effective date of this regulation. If for any reason the legal non-conforming sign is removed, a replacement sign may be constructed within six (6) months. The replacement sign shall be constructed on the same parcel as the original off-premise sign and will conform to current

standards with regard to size, height and setback, except as required under the State of Tennessee Department of Transportation Rules and Regulations for the Control of Outdoor Advertising.

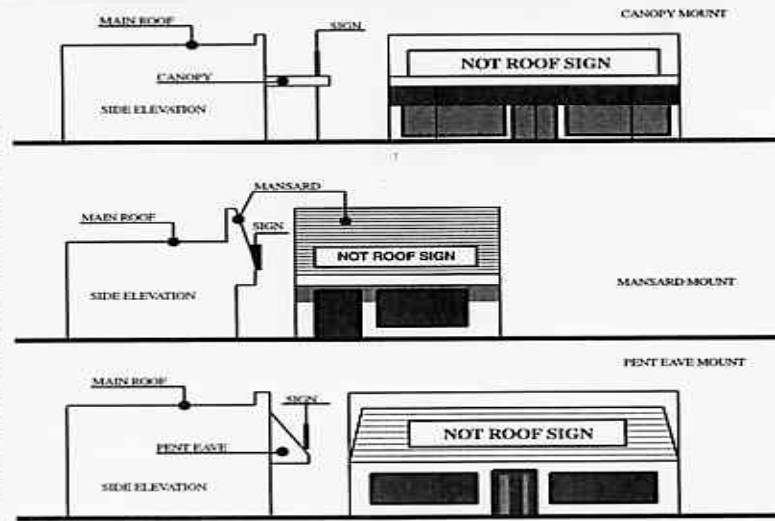
VISUAL OF SIGN DEFINITIONS



ROOF SIGNS



FASCIA SIGNS ON ROOF-LIKE PROJECTIONS



COMPARISON—ROOF AND WALL OR FASCIA SIGNS



BRADLEY COUNTY BUILDING INSPECTIONS

PRE-PERMIT APPLICATION FOR SIGN

Application Date ____/____/____

1. PROPERTY OWNER INFORMATION

First Name	Last Name or Business Name	Phone _____	
		Cell _____	
Street Address	City	State	Zip

2. PROPERTY INFORMATION

Tax Map	Group	Parcel	Street Address of Property or Road Name
Is this road a Tennessee State Highway and/or a Designated Scenic Highway/Parkway? <input type="checkbox"/> Yes <input type="checkbox"/> No			If yes, you must contact T.D.O.T for their permit and regulations in addition. Whichever is more stringent, county or state, will apply. (423) 892-3430

3. CONTRACTOR/INSTALLER INFORMATION

According to TCA 62-6-102(3)(A)(i) and TCA 62-6-103 any construction undertaking for which the total cost of the same is \$25,000 or more is required to be performed by a person, firm or corporation licensed in this state. A classification of BC-B(sm) is required for commercial projects not exceeding \$500,000. Otherwise, a BC-B or BC classification is required.

Name of Contractor/Installer			Street Address		
City	State	Zip	Phone	Fax	
License no. (if required)	Class	Limit	Expiration		
Email Address:					

4. SIGN INFORMATION

Sign Location: <input type="checkbox"/> On-Premise <input type="checkbox"/> Off Premise	Sign Type: <input type="checkbox"/> Billboard <input type="checkbox"/> Canopy <input type="checkbox"/> Freestanding <input type="checkbox"/> Projecting <input type="checkbox"/> Roof <input type="checkbox"/> Wall or Facia
Specifications: Height _____ Width _____ Total Surface Area _____ Installed Height _____	
Total Cost of Construction	

THE FOLLOWING IS FOR OFFICE USE ONLY

Current Zoning:	Is use permitted in this zoning? <input type="checkbox"/> Yes <input type="checkbox"/> No
If no, state reason: _____	
Is this sign to be located on a State Road or Highway? <input type="checkbox"/> Yes <input type="checkbox"/> No	
Has site plan been submitted: <input type="checkbox"/> Yes <input type="checkbox"/> No	
Comments:	

ANY earth disturbing activity in Bradley County is required to have a level 1 certified erosion inspector. No permit will be issued until the level 1 certified erosion inspector has been designated. They will be required to sign the Land Disturbance permit. If there will be no earth disturbing activities associated with this permit please list N/A in the check boxes.

Initial that you have read and understand the following items must be accomplished BEFORE construction begins for this site:

Silt fence or other sediment barriers has been properly installed along topographical contours down slope of the area to be disturbed prior to any grading, clearing, excavation and/or any other construction activity in which earth will be disturbed. Soil, sand, rock or other debris will be kept off the roads and storm drains. If for any reason some escapes the construction site, the debris must **IMMEDIATELY BE PHYSICALLY REMOVED**. Excavated topsoil to be reused must be stockpiled and encircled with **PROPERLY** installed silt fencing.

This site shall contain a temporary stone construction entrance that shall be used by all traffic to access the site. The stone shall be 3/4 to 3 1/2 inch in diameter and shall be kept clean by adding more stone if needed. The minimum depth will be six (6) inches, width of twenty (20) feet, length of not less than thirty five (35) feet. Fifty (50) feet preferable.

Check that you have read and understand the following:

Vegetative buffers or other protection must be provided along streams, rivers and ponds to avoid erosion of banks.

Stabilization measures must be performed within seven (7) days in portions of the site where construction activities have temporarily or permanently ceased, and within fifteen (15) days after final grading.

Designated areas such as non-disturbance forested buffers must be marked off and protected. Heavy equipment should not be operated or stored, nor materials handled or stored, within these areas.

Sediment that has escaped the construction site and has collected in the street or drainage structures must immediately be physically removed. Sediment must be removed from sediment barriers, ponds and other sediment controls when design capacity has been reduced by 33%.

Building and waste materials and non storm water discharges such as concrete, paint wash water, or machinery leakage or spillage must be managed to prevent them from entering the storm water system, ground water or nearby water body.

BMP's (Best Management Practices) must be inspected by a qualified person who has passed an approved erosion and sedimentation course.

Erosion prevention and sediment controls must be inspected before a rain event, weekly and 24 hours after .25" rain event.

The permittee shall maintain record of such checks and repairs. These records must be kept on site or in the office of the responsible person and available for review at any time by Stormwater personnel or Building Inspections.

Name, Address and Phone Number of Tennessee Level 1 Certified Erosion Inspector for this Construction

Name

Address

City

State

Zip

Phone No.

Responsible Party for Land Disturbing Activity

Date

I hereby certify that all information pertaining to this application is correct and accurate. I understand that I must notify the Inspection Department of any changes or deviations from this application.

Applicant: _____ Date: _____