

Building Department Information

Office Number 423.728.7106

Don Wyatt, Inspector dwyatt@bradleyco.net

Tina Bishop, Inspector trice@bradleyco.net

Theresa Vineyard, Secretary tcOOK@bradleyco.net

Office Hours:

Monday thru Thursday 8:30am—4:30pm

Friday 8:30am—5:00pm

Other Numbers:

Engineering Department 423.728.7107

Stormwater Department 423.728-7102

Planning Department 423.728.7108

TDEC (Septic) Phone No. 423.479.0595
(8:00am—9:00am only)

Fire Inspector 423.728.7068

Electrical Inspectors

Dan Wilson (NW SW areas) 423.593-7235
(8:30am—9:15am)

Larry Guy (NE SE areas) 423.338.1628
(7:00am—8:30am)

Codes & Editions for Residential Construction

2006 International Residential Code

2006 International Plumbing Code

2006 International Mechanical Code

2006 International Fuel Gas Code

2006 International Energy Conservation Code

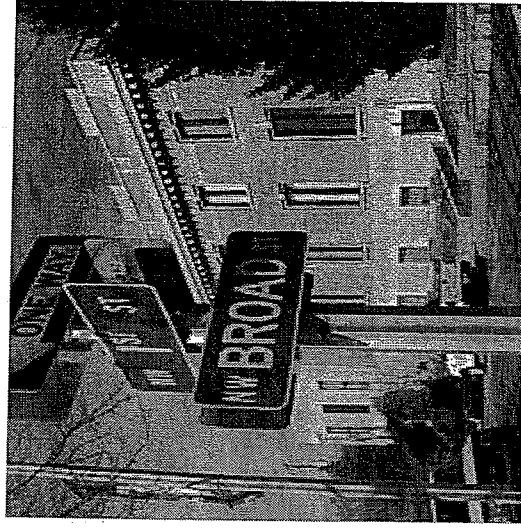
North Carolina State Building Code, Volume 1-C,
Accessibility Code 1999 Edition with 2002 and 2004
Amendments

2006 International Fire Code



**Bradley County
Building Inspections**

Permitting Information for Residential Construction



**155 Broad Street, NW
Cleveland, TN 37311**

Phone: 423.728.7106

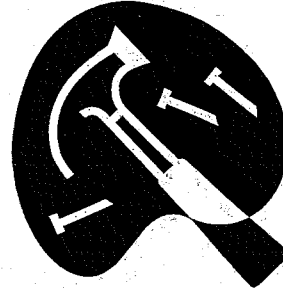
Fax: 423.478.8884

Website: www.bradleyco.net

Checklist for Residential Building Permit

- Completed septic application for submittal and submitted fee (allow 10—14 days for inspection & diagram)
- Completed pre-permit application
- Prepared site sketch according to example
- Septic approved by State of TN Groundwater Division and diagram returned to Building Inspections Department

You are now ready to purchase your building permit.



Disclaimer: Items listed in this brochure are for reference only and are subject to change. Contact the appropriate department should you have any questions.

Updated 12/2010

PERMITTING PROCESS FOR RESIDENTIAL

All permits for the county may be purchased through the Bradley County Building Inspectors Office except those on Cleveland Utilities. If you are serviced by CU for power or water you will purchase the electrical or plumbing permit from the city and inspections will be performed by the city. Their number is 479-1913.

Pre-Permit Application: This process has been implemented to insure the proper information is obtained and reviewed before any permits are issued. The pre-application is used to determine property zoning, county road frontage, flood map and storm water information. You will be asked the square footage of the home (heated living space and unheated space such as garage or basement area), contractor information (whether acting as your own or hiring a licensed contractor), and plumbing and mechanical information (how many fixtures). All information obtained will be used to generate your building permit. You will also be requested to provide a site sketch of the property showing lot dimensions, approximate home location and home dimensions, any drives and/or paved areas around the home including decks, pool and/or patios, any other structures on the property and any required drains or swales around the home site and their discharge points. This sketch is used by both the building inspections office and the Department of Environment and Conservation. Although this sketch does not have to be to scale, be as accurate as possible with your information to prevent errors.

Septic Permit: This application is to the State of Tennessee Department of Environment and Conservation (TDEC). The fee for a new septic application effective 7/1/09 is \$500 for a new system. A Certificate of Verification on an existing system varies from \$100—\$200. Either is payable to Treasurer, State of Tennessee. Prior to inspection, the property lines as well as the four corners of the home will need to be staked. An inspector for TDEC will review the property and issue a diagram of where the septic tank and field lines will be located. If hooking on to an existing septic system, you will apply for a Certificate of Verification on your existing septic system. The average inspection time for either is roughly two weeks.

Once the diagram is complete or the Certificate of Verification has been approved and returned to the Building Inspectors Office, you may obtain a copy of the diagram or COV and then obtain your building permit. **Per TCA 68-221-406 it is unlawful to begin construction prior to septic approval.** Should you have any questions the number to TDEC is listed under Other Numbers in this brochure.

Building Permit: In the State of Tennessee an individual may build a home once every two years and act as the contractor if the intent is to live in the home, not to sell for profit. If building to sell you must use a licensed contractor. The fee for the building permit is based on the value of construction. You will be issued your address when you obtain this permit. If replacing an existing residence, you will be issued the existing address upon verification.

Land Disturbance Permit: The fee for this permit is \$50 up to and including one acre; \$25 for each additional acre disturbed. (If over an acre disturbed there is additional State requirements.) This permit is required in accordance with the stormwater policy adopted by Bradley County. Unless you are homeowner acting as your own contractor, you will be required to have a Level One Certified Erosion Specialist certified in Tennessee for your construction site.

Electrical Permit: You may obtain as homeowner if constructing your personal residence. Again, if using a licensed electrician the licensed individual is required to obtain the permit. The fee for this permit varies depending on what you require. Typically we sell a 200amp Temporary, Rough-In and Final. That averages \$84. If you require an HVAC permit (should be obtained by licensed installer) they are \$30. Checks should be made payable to Bradley County. The electrical inspectors for the State are: SE or NE area- Larry Guy 338-1628 he may be reached Monday-Friday 7:30am - 8:30am SW or NW area- Dan Wilson 472-8327 he may be reached Monday - Friday 8:00am - 9:15am

Plumbing Permit: You may obtain as homeowner if acting as your own contractor. Otherwise, a licensed plumber is required to obtain the permit. The fee is based on the amount of fixtures installed. A standard county plumbing permit usually averages \$35 - \$45.

Mechanical Permit: Currently there is no fee for the mechanical permit in Bradley County.

INSPECTIONS

Inspections are required to be phoned into the office a day in advance so we may schedule accordingly. All permits must be obtained prior to any inspections.

Please provide the following information when scheduling inspections:

- Permit Number
- Address or subdivision & lot number
- Type of inspection requested
- Name permit is recorded under
- Your name or company name
- Phone number where you may be reached

The required inspections per the building code are:

- Footing—Before concrete is placed. Excavation, rebar, grade stakes & bulkheads are complete.
- Basement w/Slab Plumbing—Before gravel or concrete is poured.
- Rough-in Framing—Once rough electrical & rough plumbing are complete.
- Rough-in Plumbing—At same time as rough framing, with water or air test.
- Rough-in Mechanical—At same time as rough frame and plumb, prior to concealment.
- Final Inspection—When all items are complete, all plumbing and mechanical fixtures have been set and final power and water are on. Home is ready for occupancy.

SETBACK REQUIREMENTS

It is the responsibility of the owner or contractor to verify compliance with required setbacks. These are determined from actual property line, NOT curb of road or edge of pavement. Lots located on curved roads or adjacent to a cul-de-sac should be surveyed. Setback requirements are determined by Zoning of your property. County residential setbacks are typically:

Front 25' Side 10' Rear 15' Corner Lot 25'

NOTICE FOR ALL LAND DISTURBANCE AND NEW BUILDING ACTIVITIES

NO INSPECTIONS WILL BE GIVEN UNTIL EROSION CONTROL MEASURES ARE COMPLETED!!!!!!!

By initialing and signing the Pre-Construction Checklist you are agreeing to comply with Bradley County Erosion and Sediment Control standards, which are also in compliance and enforceable by the State of Tennessee Department of Environment & Conservation.

There are a few major items that are commonly overlooked during new construction that could cause damage or harm to people or other properties near the site.

You must have the following items in place and properly installed prior to scheduling and receiving ANY inspections. If incomplete or improperly installed the building inspector will not perform inspection.

SILT FENCING

Required in all areas where dirt, mud, or other sediment may escape. Proper installation is necessary for the fence to work as it should.

- Posts & fabric must be set in a trench in the ground. Trench should be 6" x 6" to work effectively
- Fabric in trench should be folded in an "L" shape, with the bottom of the fabric pointed toward the area where the runoff will come from
- Remaining dirt is to be backfilled and compacted back into the trench to secure the silt fence. Fence must be repaired if it fails or is overcome by dirt or mud.

CONSTRUCTION ENTRANCE

- Stone should be 3/4" - 3 1/2" in diameter at a depth of no less than 6". Width should be 20' or more, and length should be 50' or as per site sketch. If not working to keep road clean, more stone may need to be added.

County Setback Requirements

The setback requirements for Bradley County are: (FAR, R1 & R2 Zoning)

Front Setback	25'
Side Setback	10'
Rear Setback	15'
Corner Setback	25'

- Setbacks are to be determined from actual property lines, not the road or the curb of the road
- You should maintain 25' from any property line adjacent to a road
- Lots located on a curved road or adjacent to a cul-de-sac (especially in subdivisions) are strongly recommend to be surveyed.
- Although not enforced by this office, if deed restrictions or subdivision regulations require more stringent setbacks, whichever is the more stringent shall apply.

IT IS THE INDIVIDUAL RESPONSIBILITY OF THE CONTRACTOR, BUILDER, HOMEOWNER OR PROPERTY OWNER TO VERIFY THEIR CONSTRUCTION IS IN COMPLIANCE WITH THE REQUIRED SETBACKS.

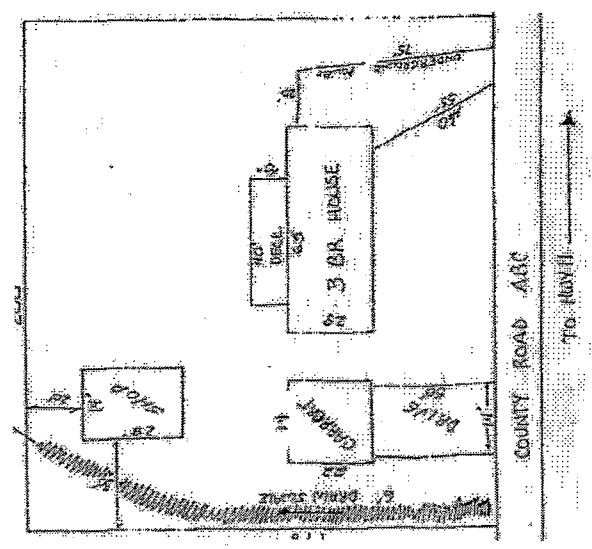
Site Sketch Example

Required by TDEC & Building Inspections

The following items and their measurements shall be included on the plan:

- Lot Dimensions
- Approximate home location and dimensions
- Any drives and/or paved areas around the home including decks, pool and/or patios
- Any shop or other type of out building
- Projected location of any underground utility lines and/or proposed well location (if applicable)
- Any required drains or swales around home site and their discharge points

PLEASE MAKE DRAWING AS ACCURATE AS POSSIBLE AS IT SHALL BE USED TO DETERMINE THE AREA OF YOUR PROPERTY AVAILABLE FOR SEPTIC SYSTEM INSTALLATION AND DULPLICATION AND ALSO FOR ADDRESSING



INSPECTIONS

Inspections are required to be phoned into the office a day in advance so we may schedule accordingly. All permits must be obtained prior to any inspections.

Please provide the following information when scheduling inspections:

- Permit Number
- Address or subdivision & lot number
- Type of inspection requested
- Name permit is recorded under
- Your name or company name
- Phone number where you may be reached

The following are required inspections by Bradley County:

- Footing—Before concrete is placed. Excavation, rebar, grade stakes & bulkheads are complete.
- Basement w/Slab Plumbing—Before gravel or concrete is placed.
- Rough-in Framing—Once rough electrical, rough mechanical & rough plumbing are complete. Before sheetrock.
- Rough-in Plumbing—At same time as rough framing, with water or air test.
- Rough-in Mechanical- At same time as rough frame and rough plumb.
- Final Inspection—When all items are complete, all plumbing/mechanical fixtures have been set and final power and water are on. Home is ready for occupancy.

Department Information

Don Wyatt, Inspector dwyatt@bradleyco.net
 Tina Bishop, Inspector trice@bradleyco.net
 Theresa Vineyard, Secretary tcook@bradleyco.net
 Office Number 423.728.7106
 Office Fax 423.478.8884

Office Hours:

Monday thru Thursday 8:30am—4:30pm
 Friday 8:30am—5:00pm

Other Numbers:

Engineering Dept. 423.728.7107
 Stormwater Dept. 423.728.7102
 Planning/Zoning Dept. 423.728.7108
 TDEC (Septic) 423.479.0595
 (8:00am—9:00am only)
 Bradley County Fire Inspector 423.728.7068

Electrical Inspectors

Dan Wilson (NW SW areas) 423.593.7235
 (8:30am—9:15am)
 Larry Guy (NE SE areas) 423.338.1628
 (7:00am—8:30am)

Codes & Editions

- 2006 International Building Code, excluding Chapter 11 including Appendix A, B, C, D, F & H
- 2006 International Residential Code
- 2006 International Plumbing Code
- 2006 International Fire Code
- 2006 International Energy Conservation Code
- 2006 International Mechanical Code
- 2006 International Fuel Gas Code
- 2006 NFPA Life Safety Code 101
- 1999 Edition Volume 1-C North Carolina State Building Code Accessibility Code with 2002 and 2004 Amendments

SMOKE DETECTORS/ALARMS

Effective January 1, 2006 in reference to Tennessee Code Annotated Section 68-120-111, the law states that smoke detectors are to be installed in accordance with the 2003 International Residential Code and in accordance with the manufacturer's directions, unless those directions conflict with applicable codes adopted by the state fire marshal.

Section R313 of the International Residential Code states:

R313.1 Smoke alarms. Smoke alarms shall be installed in the following locations:

1. In each sleeping room.
2. Outside each separate sleeping area in the immediate vicinity of the bedrooms.
3. On each additional story of the dwelling, including basements but not including crawl spaces and uninhabitable attics. In dwellings or dwelling units with split levels and without an intervening door between the adjacent levels, a smoke alarm installed on the upper level shall suffice for the adjacent lower level provided that the lower level is less than one full story below the upper level.

When more than one smoke alarm is required to be installed within an individual dwelling unit the alarm devices shall be interconnected in such a manner that the activation of one alarm will activate all of the alarms in the individual unit. The alarm shall be clearly audible in all bedrooms over background noise levels with all intervening doors closed.

All smoke alarms shall be listed and installed in accordance with the provisions of this code and the household fire warning equipment provisions of NFPA 72.

In new construction, the required smoke alarms shall receive their primary power from the building wiring when such wiring is served from a commercial source, and when primary power is interrupted, shall receive power from a battery.



**TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION
APPLICATION FOR GROUND WATER PROTECTION SERVICES**

1. SERVICE REQUESTED: (check service)	APPLICANT	FEES DUE	PTBMIS CODES V689	
	COMPLETE QUESTIONS:		Code	Supp/Code
_____ Septic System Construction Permit				
_____ Dwelling	2, 3, 4, 7, 8, 9	\$ _____	78064	Yes
_____ Commercial: gpd	2, 3, 4, 7, 8, 9	\$ _____	78064	Yes
_____ System Modification	2, 3, 4, 7, 8, 9	\$ _____	78064	Yes
_____ Repair	2, 3, 4, 7, 8, 9	\$ _____		
_____ Inspection Letter	2, 3, 5, 7, 8, 9	\$ _____	78030	
_____ Certificate of Verification	2, 3, 5, 7, 8, 9	\$ _____	78032	Yes
_____ Water Sample				
_____ Total Coliform	2, 3, 6, 7, 8, 9	\$ _____	78036	Yes
_____ Fecal Coliform	2, 3, 6, 7, 8, 9	\$ _____	78038	Yes
_____ Alternative System Permit*		\$ _____	78068	
_____ Large Conventional System Plan Review*		\$ _____	78090	
_____ Large Alternative System Plan Review*		\$ _____	78090	
_____ Experimental System Plan Review*		\$ _____	78072	
_____ Subdivision Evaluation: Lots: _____*		\$ _____	78084	
_____ Soil Mapping: Type _____ Acres _____*		\$ _____		Yes
_____ Installer Permit: Type(s) _____*		\$ _____	78026	Yes
_____ Pumper Permit*		\$ _____	78028	
_____ Plat Approval — Individual Lot		\$ _____	78029	
_____ Domestic Septage Disposal Site Permit		\$ _____	78031	

*Applicant may review these service requests with Environmental Specialist prior to processing application.

2. LANDOWNER:	APPLICANT	ORIGINAL OWNER
Names: _____	Name: _____	Name: _____
Address: _____	Address: _____	
Day Phone: _____	Day Phone: _____	

3. **LOCATION OF LOT OR SITE:** a) In a subdivision? _____ b) Name: _____ Lot # _____
 b) Non-Subdivision _____ Give specific directions and address to the lot or site: _____

4. **FOR SSDS PERMIT ONLY:** a) Size of lot _____ b) Number of Bedrooms _____
 c) How many occupants? _____ d) Excavated Basement? Yes _____ No _____
 e) Basement Plumbing Fixtures? Yes _____ No _____
 f) Amount of water used monthly (gallons) _____
 g) Water Supply: Public _____ Well _____ Spring _____
 h) Is the lot staked? _____ If not, date it will be staked: _____
 Is the house staked? _____ If not, date it will be staked: _____
 i) Installer, if known: _____

5. **FOR INSPECTION LETTER ONLY:** Will pick up _____ Please mail _____
 a) Age of house _____ b) Is house vacant? _____ How long? _____
 c) Original sewage system inspected _____
 d) Date of previous repairs _____ Inspected _____
 e) Is waste water "backing up" into plumbing fixtures? _____ Surfacing on the ground? _____
 f) All waste water including washing machines routed into septic tank _____

6. **FOR WATER SAMPLE ONLY:** a) Source of Supply: Spring _____ Well _____
 b) Is there an outside faucet? _____ c) Is the source chlorinated? _____
 d) For Wells: Is the casing 6" above the ground? _____ Is a sanitary seal on the casing? _____

7. MAKE A ROUGH SKETCH ON BACK OF THIS **WHITE** PAGE SHOWING DIRECTIONS TO PROPERTY, PROPERTY LINES, HOUSE SITE, WELL LOCATION, SPRING LOCATION, PLANNED DRIVEWAY AND UTILITIES.

8. ALL FEES DUE IN ADVANCE AND ARE NON-REFUNDABLE (except upon appeal). See Fee Schedule on reverse. Make check payable to: **TREASURER, STATE OF TENNESSEE**

9. I certify that the above information is true and correct to the best of my knowledge, and that I have been authorized by the above named landowner to submit this Application for Environmental Services to the Division of Ground Water Protection.

DATE: _____ SIGNATURE: _____ AMOUNT PAID: \$ _____ RECEIPT NUMBER _____

White: File Canary: Owner



BRADLEY COUNTY RESIDENTIAL PRE- PERMIT APPLICATION

App. Date _____/_____/_____

1. PROPERTY OWNER INFORMATION

Property Owner Name or Business Name		Phone	
		Cell	
Owners Current Street Address	City	State	Zip

2. GENERAL CONTRACTOR INFORMATION

General Contractor for Job:		Name as it appears on license:	
License No	Classification	Limit	Expiration
Contractors Street Address		City	Zip
			Contact #

3. PROPERTY INFORMATION

Tax Map	Group	Parcel	Subdivision & Lot No.
Name of Road or Street accessing property:			
List existing structures (if any) on property and addresses to them if applicable. Indicate what the structure is (House, Single Wide, Double Wide, Barn, Shed, Accessory Bldg, etc.)			
Are you replacing an existing structure?		If yes, existing structure type and address:	

4. BUILDING INFORMATION

Improvement Type: <input type="checkbox"/> New Construction <input type="checkbox"/> Relocation <input type="checkbox"/> Remodel <input type="checkbox"/> Repair <input type="checkbox"/> Addition (If improvement is an addition, please check "Other" for proposed use and specify if bedroom, dining room, den, etc.	Proposed Use: <input type="checkbox"/> House <input type="checkbox"/> Duplex <input type="checkbox"/> Garage <input type="checkbox"/> Garage Apartment <input type="checkbox"/> Assessory Building <input type="checkbox"/> Barn <input type="checkbox"/> Other _____	Frame Type: <input type="checkbox"/> Wood <input type="checkbox"/> Masonry <input type="checkbox"/> Steel <input type="checkbox"/> Concrete <input type="checkbox"/> Other	Estimated Value of Construction? <i>(Excluding land/lot)</i> If Spec bldg, sales value including land/lot?
--	---	--	--

What is the total heated square footage for your project? _____

Is there a basement? ____Yes ____No What is the square footage of the basement? _____

How many stories? _____

How many bedrooms? _____

If this is a bedroom addition will this change the total number of bedrooms? ____Yes ____No
(If the addition changes the number of bedrooms additional steps will have to be taken if you are serviced by a septic system)

If this is a barn, assessory building or garage, what is the total square footage or dimentions? _____

5. PLUMBING INFORMATION

As of January 1, 2006, plumbing permits are to be obtained by a State Licensed Plumber
(Unless Homeowner is acting as their own contractor)

Will this project consist of installing, replacing or repairing plumbing? Yes No

Who is the plumbing contractor for this project? _____

Who is the servicing water utility? _____
(If serviced by Cleveland Utilities for water your plumbing permit will be purchased at the City of Cleveland.)

Is this project serviced by Public Sewer or Individual Septic System? Sewer Septic

How many full baths? _____ How many half baths? _____

Enter the Number of Fixtures Being Installed, Replaced or Repaired

<input type="checkbox"/> Combo	<input type="checkbox"/> Kitchen Sinks	<input type="checkbox"/> Clothes Washer
<input type="checkbox"/> Shower Only	<input type="checkbox"/> Water Heaters	<input type="checkbox"/> Outside Spigot
<input type="checkbox"/> Garden Tub	<input type="checkbox"/> Garbage Disposal	<input type="checkbox"/> Laundry Tub
<input type="checkbox"/> Bathroom Sinks	<input type="checkbox"/> Dishwasher	<input type="checkbox"/> Floor Drain
<input type="checkbox"/> Toilets		
<input type="checkbox"/> Bidets		

6. MECHANICAL INFORMATION

Will this project consist of installing, replacing or repairing any mechanical components? Yes No

Who is the mechanical contractor for this project? _____

Type of energy used (check one) Electrical Nat. Gas LPG
 Solar Other

Enter the Number of Units to be Installed, Replaced or Repaired

<input type="checkbox"/> Heat Pump	<input type="checkbox"/> Water Heater
<input type="checkbox"/> Package Units	<input type="checkbox"/> Gas Range
<input type="checkbox"/> Split Units	<input type="checkbox"/> Exhaust systems, Hoods, Vents, Make-up Air
<input type="checkbox"/> Unit Heater	<input type="checkbox"/> Other equipment not listed (Specify) _____
<input type="checkbox"/> Furnace	
<input type="checkbox"/> Boiler	

7. PRE-CONSTRUCTION CHECKLIST

Initial that you have read and understand the following items must be accomplished BEFORE construction begins for this site:

Silt fence or other sediment barriers has been properly installed along topographical contours down slope of the area to be disturbed prior to any grading, clearing, excavation and/or any other construction activity in which earth will be disturbed. Soil, sand, rock or other debris will be kept off the roads and storm drains. If for any reason some escapes the construction site, the debris must **IMMEDIATELY BE PHYSICALLY REMOVED**. Excavated topsoil to be reused must be stockpiled and encircled with **PROPERLY** installed silt fencing.

This site shall contain a temporary stone construction entrance that shall be used by all traffic to access the site. The stone shall be 3/4 to 3 1/2 inch in diameter and shall be kept clean by adding more stone if needed. The minimum depth will be six (6) inches, width of twenty (20) feet, length of not less than thirty five (35) feet. (Fifty (50) feet preferable.

Check that you have read and understand the following:

Vegetative buffers or other protection must be provided along streams, rivers and ponds to avoid erosion of banks.

Stabilization measures must be performed within seven (7) days in portions of the site where construction activities have temporarily or permanently ceased, and within fifteen (15) days after final grading.

Designated areas such as non-disturbance forested buffers must be marked off and protected. Heavy equipment should not be operated or stored, nor materials handled or stored, within these areas.

Sediment that has escaped the construction site and has collected in the street or drainage structures must immediately be physically removed. Sediment must be removed from sediment barriers, ponds and other sediment controls when design capacity has been reduced by 33%.

Building and waste materials and non storm water discharges such as concrete, paint wash water, or machinery leakage or spillage must be managed to prevent them from entering the storm water system, ground water or nearby water body.

BMP's (Best Management Practices) must be inspected by a qualified person who has passed an approved erosion and sedimentation course.

Erosion prevention and sediment controls must be inspected before a rain event, weekly and 24 hours after 25" rain event.

The permittee shall maintain record of such checks and repairs. These records must be kept on site or in the office of the responsible person and available for review at any time by Stormwater personnel or Building Inspections.

Name, Address and Phone Number of Level 1 Certified Erosion Inspector for this Construction

Name of Level One Certified Inspector: _____

Street Address _____

City & Zip _____

Contact Phone Number _____

State of Tennessee Level 1 Certified Erosion Inspector Certification Number _____

If your construction site will consist of the disturbance of the equivalent of one acre or more, you will be required to obtain a state permit in addition to Bradley County's permit.

8. WORKERS COMPENSATION

Under Tennessee Code Annotated 13-7-211 you are required to provide proof of workers' compensation insurance before a building permit can be issued. If you meet the criteria for exemption you may complete the following affidavit in lieu of submitting the Workers' Compensation Certificate.

AFFIDAVIT OF EXEMPTION FOR WORKERS' COMP (UNDER TCA 13-7-211)

I, the undersigned, hereby swear of affirm that I am applying for a building permit from the Planning, Engineering & Building Inspections Department of Bradley County, Tennessee and am exempt from the requirements of TCA 13-7-211 (proof of workers' compensation insurance) because:

(Check One)

_____ I am not required to obtain coverage under the Tennessee Workers' Compensation Law, TCA §50-6-104 through 113: *(Sole proprietor with no employees)*; or

_____ I am NOT exempt and a copy of my current workers compensation certificate is on file with your office or is attached to the pre-permit.

9. SIGNATURE & CERTIFICATION

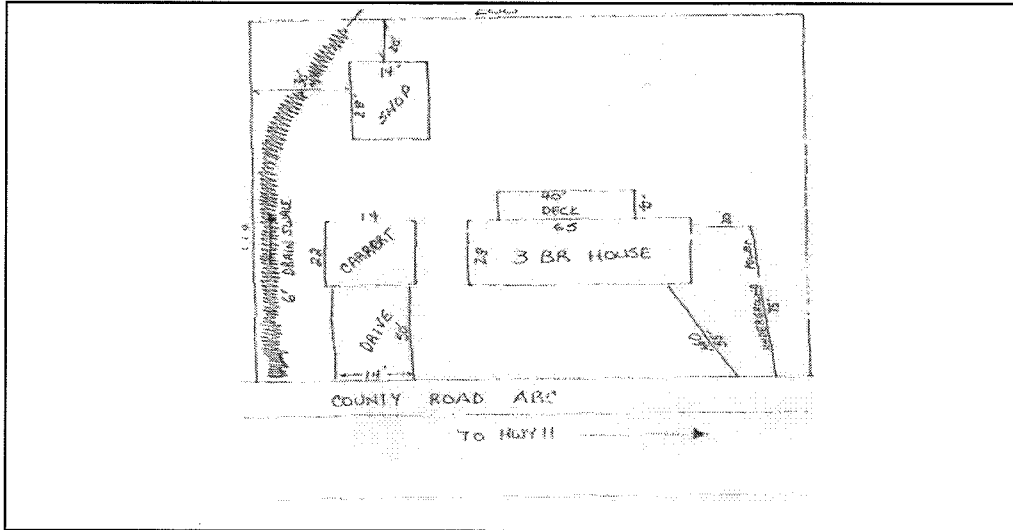
I hereby certify that I am the contractor of record for the proposed work, or that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent and I agree to conform to all applicable requirements of Bradley County. In addition, if applicable permits for work described in this application are issued, I certify that the inspector or the inspector's authorized representative shall have the authority to enter areas covered by such permit at any reasonable hour to enforce the provisions of the code(s) or policies applicable to such permit. I understand these requirements will be inspected and enforced by Bradley County and failure to comply may result in the issuance of a "stop work order", suspension of all inspections and/or other penalties until compliance is accomplished.

Signature of
Contractor: _____

Date: _____

This sheet may be used to draw site sketch

EXAMPLE



THIS PAGE FOR OFFICE USE ONLY

Subdivision _____ Lot No. _____

Parcel ID: Map _____ Group _____ Parcel _____

Zoning: _____ FAR _____ R1 _____ R2 _____ Other

Is use permitted in this Zoning? _____ Yes _____ No

If no, state reason: _____

Does parcel have county/private road frontage? _____ Yes _____ No

Are there any stipulations or non-compliance issues as to why a permit should not be issued on this parcel?
(Mobile home park violation, landlocked, etc?)

_____ Yes _____ No

If yes, please state reason: _____

Type Construction _____ Occupancy Group _____ Use Classification _____

FLOOD INFORMATION

Is parcel in flood zone? _____ Yes _____ No

Flood Panel _____ Zone _____

ADDRESS INFORMATION

Proposed address: _____

City, Zip Code: _____

Information verified by: _____

Date: _____